

TRILLIUM PICTURES

PROJECT BRIEF

STUDIO CITY NORTH BAY

F I L M S T U D I O P R O J E C T

JUNE 2024

PROJECT OVERVIEW

PURPOSE

To build a state of the art film studio facility, including production offices, construction shops, and a training facility. The project will also develop 150 affordable homes for seniors 55 years of age and up.

GOALS AND OBJECTIVES

Complete the project and expand the business year two, with a focus to attract new projects to North Bay. Improve shareholder value and gain additional access to global capital markets.



Sweetwater Village

HOME DESIGN

PHASE ONE: Named for the setting of the classic western film, *Once Upon a Time in America*, Sweetwater Village is the first phase of residential development at Trillium's Studio City. These quality residential homes will be designed as one level cottage style houses. The homes will be approximately 900 square feet to 1200 square feet. The partners are targeting home prices to be in the \$350,000 to \$425,000 price range. Homes will be built in a wooded park and garden setting, allowing for comfortable community interactions for residents 55 years of age and up.



Sweetwater Village





MULHOLLAND LOFTS HOMEDESIGN

PHASE TWO: Designed to be modern loft style units, these homes will be built to supply rental units for the community and visiting film professionals.





STAGE DESIGN

The film stage will be state of the art, using building materials that can easily be re-purposed, and as well, have some flexibility in regards to placement. The stage builder Sprung has been in business in Canada since 1887 and now develops and constructs buildings world-wide. The secret to this construction method is in the membrane technology, Sprung provides a structural 50 year warranty and a 25 year warranty against membrane damage. This form of construction saves millions of dollars in building costs, while delivering a high quality product already used by HBO, Tri Star and Disney. Each stage is fully sound proof and of a high standard.

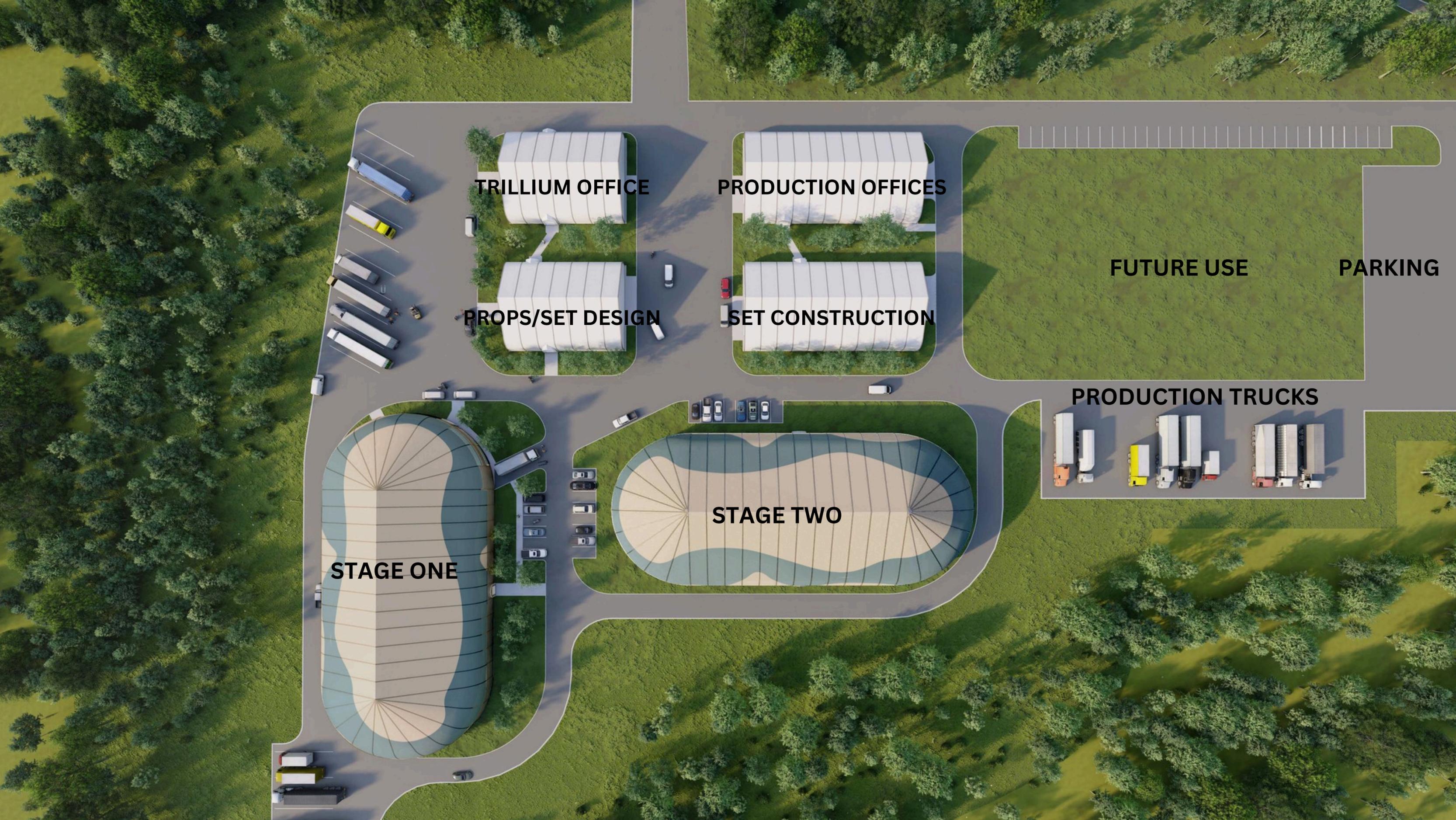


Trillium Pictures, a Canadian production company will lease the studio area in its entirety and will be responsible for management and bookings. As well, the studio will be Trillium Pictures home base and will be used for the company's own productions.



ABOUT THE PROPERTY

Homes will be built on approximately 20 acres of land and will be primarily factory built in order to reduce costs to both the company and residents. The area will be surrounded by park and garden areas, as well as an area cafe and shops for the residents. The home owners will also have access to the film studio for visits and tours on a scheduled basis. The film stage will be state of the art, using building materials that can easily be re-purposed, and as well, have some flexibility in regards to placement. The stage builder Sprung has been in business in Canada since 1887 and now develops and constructs buildings world-wide. The secret to this construction method is in the membrane technology, Sprung provides a structural 50 year warranty and a 25 year warranty against membrane damage. This form of construction saves millions of dollars in building costs, while delivering a high quality product already used by HBO, Tri Star and Disney. Each stage is fully sound proof and of a high standard.



TRILLIUM OFFICE

PRODUCTION OFFICES

PROPS/SET DESIGN

SET CONSTRUCTION

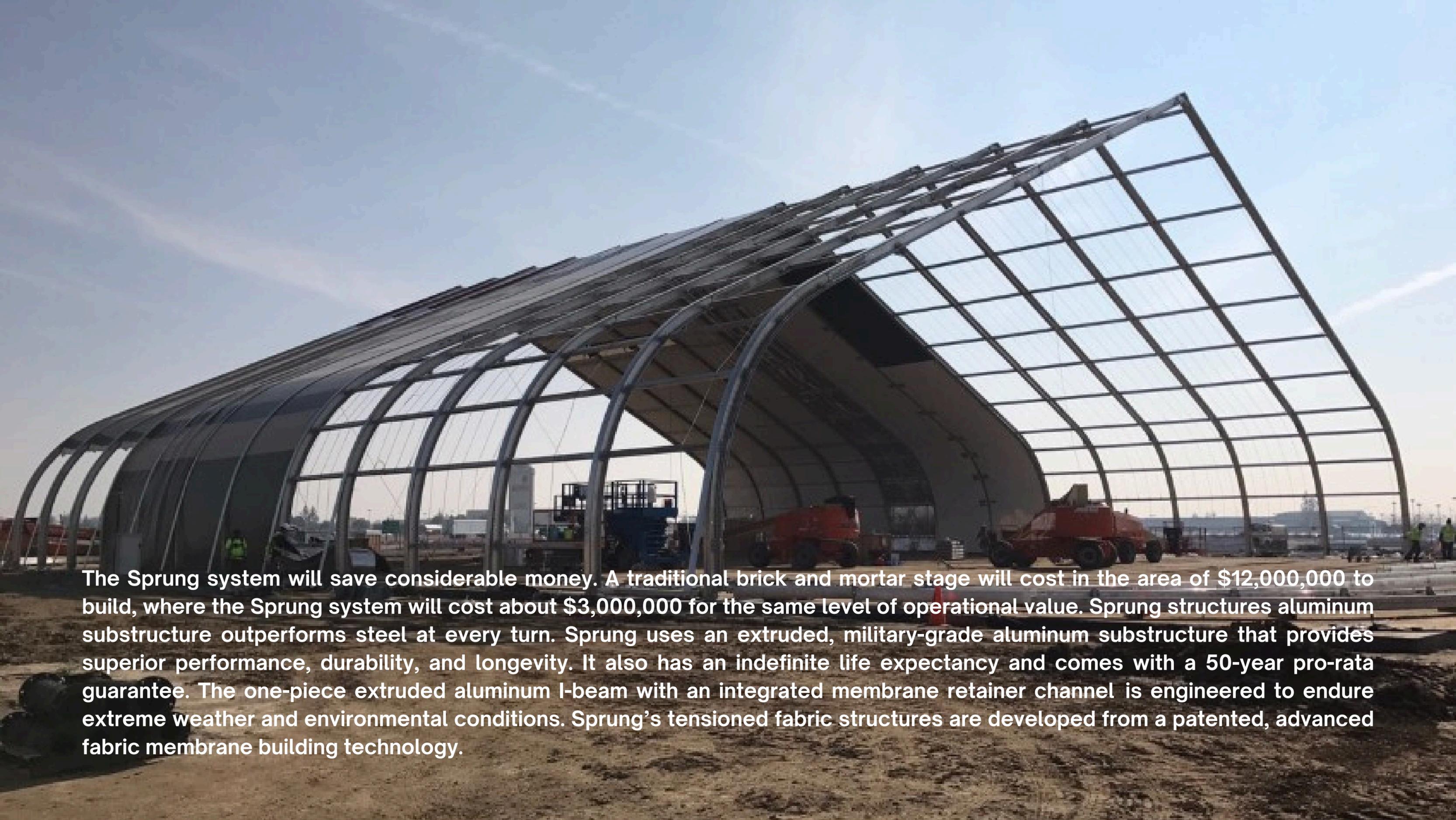
FUTURE USE

PARKING

STAGE ONE

STAGE TWO

PRODUCTION TRUCKS



The Sprung system will save considerable money. A traditional brick and mortar stage will cost in the area of \$12,000,000 to build, where the Sprung system will cost about \$3,000,000 for the same level of operational value. Sprung structures aluminum substructure outperforms steel at every turn. Sprung uses an extruded, military-grade aluminum substructure that provides superior performance, durability, and longevity. It also has an indefinite life expectancy and comes with a 50-year pro-rata guarantee. The one-piece extruded aluminum I-beam with an integrated membrane retainer channel is engineered to endure extreme weather and environmental conditions. Sprung's tensioned fabric structures are developed from a patented, advanced fabric membrane building technology.

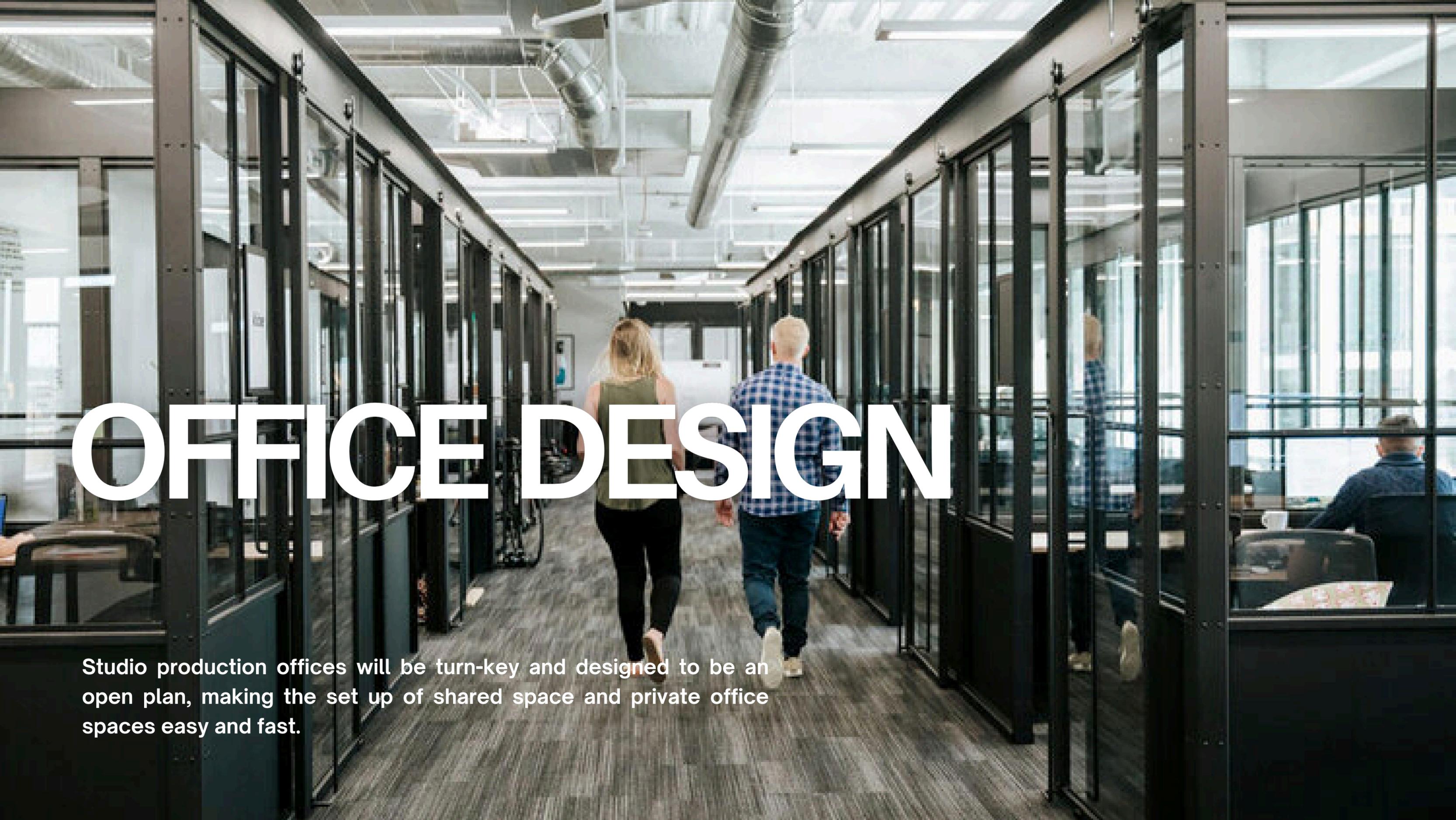


STAGE DESIGN

The stages will be built to 24,000 square feet each, the facility will consist of 1 to 2 stages, full sound proofing, a large elephant door for easy loading and unloading. This project will have a height of 50 feet to the lighting grid and will be capable of handling any set design, having the largest studio opening of any film studio in the world.

DESIGN SPECS

- We will use a layer formaldehyde-free fiberglass blanketing that's up to 9 inches thick. Allowing for a standard building envelope with insulation values ranging from R-25 to R-47 depending on sizes, configurations, and accessories. Higher values can be achieved upon request. This performs better than the thinner insulation that's typically used in metal and conventional construction, resulting in reduced climate control costs and enhanced sound absorption for better acoustics.
- The exterior architectural membrane has an envelope that allows insulation to retain its maximum thickness and achieve better performance and comfort.
- The continuous wall and roof channels in an insulated Sprung structure provide maximum performance from grade to peak, ensuring a more consistent R-value rating (the measure of thermal resistance). Insulation in metal buildings, meanwhile, is compressed throughout, significantly lowering its overall R-value.
- The structures typically come complete with an interior membrane that's more durable than drywall and offers exceptional fire-retardant capability.
- The proprietary sound attenuation system (grade to peak) offers outstanding performance for film and television soundstages. The buildings will have a noise reduction coefficient (NRC) of 0.9 (90%), with a sound transmission class (STC) of +48 and a noise criterion (NC) of >20.

A modern office hallway with glass-walled cubicles. Two people, a woman in a green top and a man in a blue plaid shirt, are walking away from the camera down the center of the hallway. The ceiling has exposed ductwork and lights. The floor is covered in a grey carpet. The overall atmosphere is bright and professional.

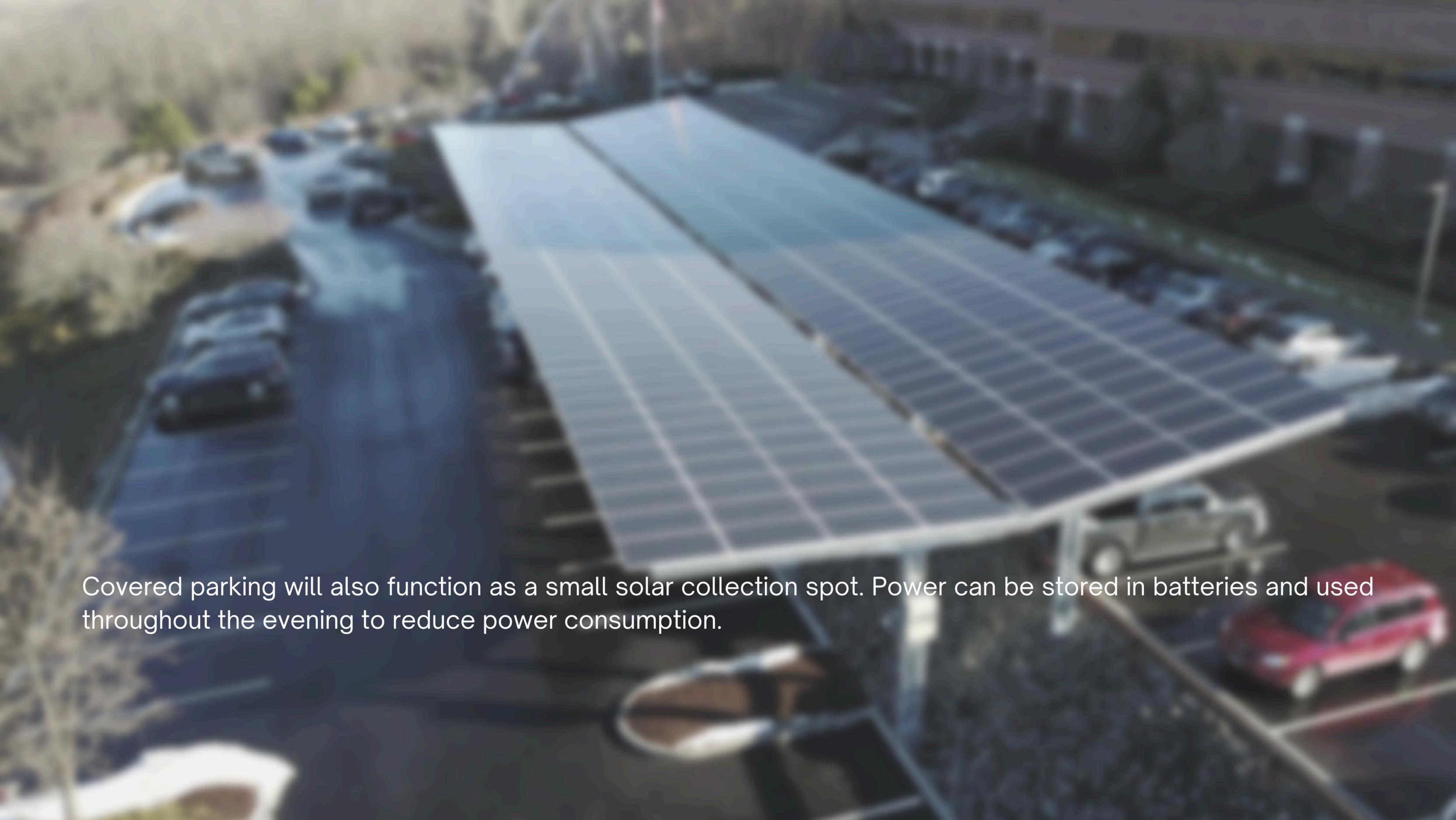
OFFICE DESIGN

Studio production offices will be turn-key and designed to be an open plan, making the set up of shared space and private office spaces easy and fast.

BACKLOT AND TRAINING FACILITY

Trillium will design and construct a versatile backlot, to be rented by visiting productions. The area will also house the companies technical training facility. The facility will focus on offering technical training for the community and can expect to train at least 100 members of the community each year, in conjunction with local schools.

The backlot will consist of hard to reach or locate film sets such as villages, western style towns and other global period set designs. These sets will also give students a real world experience as they learn to navigate an operating film set.



Covered parking will also function as a small solar collection spot. Power can be stored in batteries and used throughout the evening to reduce power consumption.

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